

TOWN OF MONTGOMERY INDUSTRIAL DEVELOPMENT AGENCY

APPLICATION

IMPORTANT NOTICE: The answers to the questions contained in this application are necessary to determine your firm's eligibility for financial assistance from the Town of Montgomery Industrial Development Agency. These answers will also be used in the preparation of papers in this transaction. Accordingly, all questions should be answered accurately and completely by an officer or other employee of your firm who is thoroughly familiar with the business and affairs of your firm and who is also thoroughly familiar with the proposed project. This application is subject to acceptance by the Agency.

TO: Town of Montgomery Industrial Development Agency
110 Bracken Road
Montgomery, New York 12549
Attention: Chief Executive Officer

This application by applicant respectfully states:

APPLICANT: Milk Factory, LLC

APPLICANT'S STREET ADDRESS: 2860 State Route 208

CITY: Walden STATE: NY ZIP CODE: 12586

PHONE NO.: [REDACTED] FAX NO.: [REDACTED] E-MAIL: [REDACTED]

NAME OF PERSON(S) AUTHORIZED TO SPEAK FOR APPLICANT WITH RESPECT TO THIS APPLICATION:

IF APPLICANT IS REPRESENTED BY AN ATTORNEY, COMPLETE THE FOLLOWING:

NAME OF FIRM: Law Office of Charles T Bazydlo, P.C

NAME OF ATTORNEY: Charles T. Bazydlo, Esq

ATTORNEY'S STREET ADDRESS: 5 Howard Seely Road

CITY: Thompson Ridge STATE: NY ZIP CODE: 10985

PHONE NO.: (845) 361-3668 FAX NO.: (845) 361-3669 E-MAIL: cbazydlo@hvc.rr.com

NOTE: PLEASE READ THE INSTRUCTIONS ON PAGE 2 BEFORE FILLING OUT THIS APPLICATION.

INSTRUCTIONS

1. The Agency will not approve any application unless, in the judgment of the Agency, said application and the summary contains sufficient information upon which to base a decision whether to approve or tentatively approve an action.
2. Fill in all blanks, using "none" or "not applicable" or "N/A" where the question is not appropriate to the project which is the subject of this application (the "Project").
3. If an estimate is given as the answer to a question, put "(est)" after the figure or answer which is estimated.
4. If more space is needed to answer any specific question, attach a separate sheet.
5. When completed, return two (2) copies of this application to the Agency at the address indicated on the first page of this application.
6. The Agency will not give final approval to this application until the Agency receives a completed environmental assessment form concerning the Project which is the subject of this application.
7. Please note that Article 6 of the Public Officers Law declares that all records in the possession of the Agency (with certain limited exceptions) are open to public inspection and copying. If the applicant feels that there are elements of the Project which are in the nature of trade secrets or information, the nature of which is such that if disclosed to the public or otherwise widely disseminated would cause substantial injury to the applicant's competitive position, the applicant may identify such elements in writing and request that such elements be kept confidential in accordance with Article 6 of the Public Officers Law.
8. The applicant will be required to pay to the Agency all actual costs incurred in connection with this application and the Project contemplated herein (if applicable, such expenses may be paid out of proceeds of any bonds issued by the Agency to finance the project). The applicant will also be expected to pay all costs incurred by general counsel and bond counsel/special counsel to the Agency. The costs incurred by the Agency, including the Agency's general counsel and bond counsel, may be considered as a part of the project, and if applicable included as a part of any resultant bond issue.
9. The Agency has established an application fee of Five Hundred Dollars (\$500) to cover the anticipated costs of the Agency in processing this application. A check or money order made payable to the Agency must accompany each application. **THIS APPLICATION WILL NOT BE ACCEPTED BY THE AGENCY UNLESS ACCOMPANIED BY THE APPLICATION FEE.**
10. The Agency has established a project fee for each project in which the Agency participates. **UNLESS THE AGENCY AGREES IN WRITING TO THE CONTRARY, THIS PROJECT FEE IS REQUIRED TO BE PAID BY THE APPLICANT AT OR PRIOR TO THE GRANTING OF ANY FINANCIAL ASSISTANCE BY THE AGENCY.**

FOR AGENCY USE ONLY

1.	Project Number	
2.	Date application received by Agency	, 20
3.	Date application referred to attorney for review	, 20
4.	Date copy of application mailed to members	, 20
5.	Date notice of Agency meeting on application posted	, 20
6.	Date notice of Agency meeting on application mailed	, 20
7.	Date of Agency meeting on application	, 20
8.	Date notice of public hearing on application posted	, 20
9.	Date notice of public hearing on application mailed	, 20
10.	Date notice of public hearing on application published	, 20
11.	Date public hearing conducted	, 20
12.	Date Environmental Assessment Form ("EAF") received	, 20
13.	Date Agency completed environmental review	, 20
14.	Date of final approval of application	, 20

AGENCY FEE SCHEDULE INFORMATION

1. APPLICATION FEE: \$500.00 (Non-refundable)

2. AGENCY FEE:

- (a) $\frac{3}{4}$ of 1% of the first \$2,000,000 of Total Project Costs
- (b) $\frac{1}{2}$ of 1% of the remaining Total Project Cost

3. AGENCY COUNSEL FEE:

- (a) An initial escrow fee of \$5,000 is required to be remitted to the Agency, to be used for Agency Counsel's work and advice to the Agency concerning the Application. All attorney fees and disbursements charged to this escrow will be supported by an invoice detailing the description of the work, the time spent, and disbursements made. Such invoices are subject to audit by the Agency. If the amount of this escrow falls below 50% of the initial escrow amount, the Applicant must replenish the escrow to the full \$5,000.00. If the escrow is not replenished when requested by the Agency, the Agency may suspend further action on the Application until replenishment has occurred. All escrowed monies unused at the end of the Application process shall be returned to the Applicant.

SUMMARY OF PROJECT

Applicant: Milk Factory, LLC

Contact Person: [REDACTED]

Phone Number: [REDACTED]

Occupant: Milk Factory, LLC

Project Location: 2860 State Route 208, Walden, NY 12586

Approximate Size of Project Site: 100,000 sqft

Description of Project: Winery/Distillery, hotel, restaurant, event space, gym/spa, co-work/gallery, museum

Type of Project: ☒ Manufacturing ☒ Warehouse/Distribution
☒ Commercial ☐ Not-For-Profit
☒ Other-Specify - Hotel, recreational, restaurant, bar, event space, museum, gallery

Employment Impact: Existing Jobs 0

New Jobs 100+ during construction and 100 full & part time once open

Project Cost: \$20-25M

Type of Financing: ☒ Tax-Exempt ☐ Taxable ☐ Straight Lease

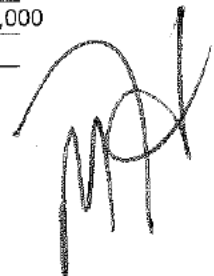
Amount of Bonds Requested: \$0

Estimated Value of Tax-Exemptions:

N.Y.S. Sales and Compensating Use Tax:	\$ 1,500,000
Mortgage Recording Taxes:	\$ 105,000
Real Property Tax Exemptions:	\$ 4,066,000
Other (please specify):	\$

Provide estimates for the following:

Number of Full Time Employees at the Project Site before IDA Status:	0
Estimate of Jobs to be Created:	100+
Estimate of Jobs to be Retained:	0
Average Estimated Annual Salary of Jobs to be Created:	\$70,000
Annualized Salary Range of Jobs to be Created:	\$35,000-\$150,000
Estimated Average Annual Salary of Jobs to be Retained:	



I. INFORMATION CONCERNING THE PROPOSED OCCUPANT OF THE PROJECT (HEREINAFTER, THE "COMPANY").

A. Identity of Company:

1. Company Name: Milk Factory, LLC

Present Address: 2860 State Route 208, Walden, NY 12586

Zip Code: 12586

Employer's ID No.: 882575114

2. If the Company differs from the Applicant, give details of relationship:

3. Indicate type of business organization of Company:

a. _____ Corporation (If so, incorporated in what country? What State? _____, Date Incorporated? _____ Type of Corporation? _____ Authorized to do business in New York? Yes _____; No _____).

b. _____ Partnership (If so, indicate type of partnership _____, Number of general partners _____, Number of limited partners _____).

c. ☒ Limited liability company (If so, formed in what state? Delaware, Number of Members? 1, Date formed? 5/27/22, Authorized to do business in New York State? Yes ☒ No ☐.

d. _____ Sole proprietorship.

4. Is the Company a subsidiary or direct or indirect affiliate of any other organization(s)? If so, indicate name of related organization(s) and relationship:

Yes, the company is a subsidiary of City Winery, LLC

B. Management of Company:

1. List all owners, officers, members, directors and partners (complete all columns for each person):

NAME (First, Middle, Last) HOME ADDRESS	OFFICE HELD	OTHER PRINCIPAL BUSINESS
Michael Ethan Dorf [REDACTED]	CEO	

2. Is the Company or management of the Company now a plaintiff or a defendant in any civil or criminal litigation? Yes ____; No ☒.

3. Has any person listed above ever been convicted of a criminal offense (other than a minor traffic violation)? Yes ____; No ☒.

4. Has any person listed above or any concern with whom such person has been connected ever been in receivership or been adjudicated a bankrupt? Yes ____; No ☒.
(If yes to any of the foregoing, furnish details in a separate attachment).

5. If the answer to any of questions 2 through 4 is yes, please, furnish details in a separate attachment.

C. Principal Owners of Company:

1. Principal owners of Company: Is Company publicly held? Yes ____; No ☒.
If yes, list exchanges where stock traded:

2. If no, list all stockholders having a 5% or more interest in the Company:

NAME	ADDRESS	PERCENTAGE OF HOLDING
City Winery, LLC	25 11th Avenue, New York, NY 10011	100%

D. Company's Principal Bank(s) of account:

II. DATA REGARDING PROPOSED PROJECT

A. Summary: (Please provide a brief narrative description of the Project.)

Project Description -

Constructed in 1884, the 20 acre property features 12 contiguous brick structures with elegant brick masonry, now in ruins after a fire and neglect. Our intention is to pay homage to the Borden history and the elegance of the magnificent property starting with the name: The Milk Factory. While breathing life into the ruins of the factory, the \$20m+ being invested in the adaptive reuse will create a modern self-sustaining small village for the close-knit local upstate New York community as well as travelers— to live, work and play. The Milk Factory will feature a 30-room boutique luxury hotel with a pool and spa, 11 unique loft-style suites, fine dining, retail shops, as well as an array of community-oriented spaces, all utilizing the history of the property as a thread throughout. The Milk Factory will also feature a functioning winery and distillery as well as coworking/gallery space. Our intention is to highlight the historic structure with 21st century LED lighting, glass, and steel with a unique roof structure both allowing light in and capturing solar energy. A top priority of ours is for the facility to be a net-zero user of energy.

B. Location of Proposed Project:

1. Street Address:
2. City of
3. Town of Montgomery
4. Village of 1) 2860 State route 208
5. County of 4) Town of Montgomery
6. School District: 5) Orange County
7. Tax Map Number: 6) Walkill
7) 2-1-4

C. Project Site:

1. Approximate size (in acres or square feet) of Project site: 19.80 acres. Is a map, survey, or sketch of the project site attached? Yes ☒; No ____.

2. Are there existing buildings on project site? Yes ☒; No ____.

a. If yes, indicate number and approximate size (in square feet) of each existing building:

12 contiguous building structures covering approximately 46,000 sqft

b. Are existing buildings in operation? Yes ____; No ☒.
If yes, describe present use of present buildings:

c. Are existing buildings abandoned? Yes ____; No ☒. About to be abandoned? Yes ____; No _____. If yes, describe:

d. Attach photograph of present buildings.

3. Utilities serving project site:
 - Water-Municipal: None existing
 - Other (describe)
 - Sewer-Municipal: None existing
 - Other (describe)
 - Electric-Utility: Central Hudson
 - Other (describe)
 - Heat-Utility: None existing
 - Other (describe)
4. Present legal owner of project site:
 - a. If the Company owns project site, indicate date of purchase: _____, 20____; Purchase price: \$_____.
 - b. If Company does not own the Project site, does Company have option signed with owner to purchase the Project site? Yes ____; No _____. If yes, indicate date option signed with owner: _____, 20____; and the date the option expires: _____, 20_____.
 - c. If the Company does not own the project site, is there a relationship legally or by common control between the Company and the present owners of the project site? Yes ____; No _____. If yes, describe: Milk Factory, LLC will be operating the premises. CWMD, LLC is the real estate holding company.
 - d. Current Assessed Value of the Project site: \$ 295,000
 - e. Current annual property tax payment of the Project site: \$ 7,375
5.
 - a. Zoning District in which the project site is located:
 - l-3
 - b. Are there any variances or special permits affecting the site? Yes ____; No ✓. If yes, list below and attach copies of all such variances or special permits:

D. Buildings:

1. Does part of the project consist of the acquisition or construction of a new building or buildings? Yes ✓; No _____. If yes, indicate number and size of new buildings:
 - 1 new building - 10,000 sqft
2. Does part of the project consist of additions and/or renovations to the existing buildings located on the Project site? Yes ✓; No _____. If yes, indicate the buildings to be expanded or renovated, the size of any expansions and the nature of expansion and/or renovation:
 - Complete renovation of existing structures, including all new infrastructure, second/third story additions in most buildings reaching a total of approx. 100,000 sqft when complete.
3. Describe the principal uses to be made by the Company of the building or buildings to be acquired, constructed, or expanded:
 - Winery/Distillery, hotel, restaurant, event space, gym/spa, co-work/gallery, museum

E. Description of the Equipment:

1. Does a part of the Project consist of the acquisition or installation of machinery, equipment or other personal property (the "Equipment")? Yes ☒; No _____. If yes, describe the Equipment:

General FF&E, property maintenance equipment, winery/distillery equipment, kitchen/bar equipment, gym/spa and co-work equipment

2. With respect to the Equipment to be acquired, will any of the Equipment be Equipment which has previously been used? Yes ____; No ☒. If yes, please provide detail:

3. Describe the principal uses to be made by the Company of the Equipment to be acquired or installed:

General FF&E, property maintenance equipment, winery/distillery equipment, kitchen/bar equipment, gym/spa and co-work equipment

F. Project Use:

1. What are the principal products to be produced at the Project?
wine, whiskey, gin

2. What are the principal activities to be conducted at the Project?

Winery/Distillery, hotel, restaurant, event space, gym/spa, co-work/gallery, museum

3. Does the Project include facilities or property that are primarily used in making retail sales of goods or services to customers who personally visit such facilities? Yes ☒; No _____. If yes, please provide detail:

There will be some retail shops for vendors of local goods/crafts

4. If the answer to question 3 is yes, what percentage of the cost of the Project will be expended on such facilities or property primarily used in making retail sales of goods or services to customers who personally visit the Project? <5 %
5. If the answer to question 3 is yes, and the answer to question 4 is more than 33.33%, indicate whether any of the following apply to the Project:

a. Will the Project be operated by a not-for-profit corporation? Yes ____; No _____. If yes, please explain:

b. Is the Project likely to attract a significant number of visitors from outside the economic development region in which the Project will be located? Yes ____; No _____. If yes, please explain:

The mixed use of property will drive visitors from all over

c. Would the Project occupant, but for the contemplated financial assistance from the Agency, locate the related jobs outside the State of New York? Yes ____; No _____. If yes, please explain:

d. Is the predominant purpose of the Project to make available goods or services which would not, but for the Project, be reasonably accessible to the residents of the city, town or village within which the Project will be located, because of a lack of reasonably accessible retail trade facilities offering such goods or services? Yes ____; No _____. If yes, please provide detail:

e. Will the Project be located in one of the following: (i) an area designed as an economic development zone pursuant to Article 18-B of the General Municipal Law; or (ii) a census tract or block numbering area (or census tract or block numbering area contiguous thereto) which, according to the most recent census data, has (x) a poverty rate of at least 20% for the year in which the data relates, or at least 20% of households receiving public assistance, and (y) an unemployment rate of at least 1.25 times the statewide unemployment rate for the year to which the data relates? Yes ____; No _____. If yes, please explain: _____

6. If the answers to any of subdivisions c. through e. of question 5 is yes, will the Project preserve permanent, private sector jobs or increase the overall number of permanent, private sector jobs in the State of New York? Yes ____; No ✓. If yes, please explain:

7. Will the completion of the Project result in the removal of a plant or facility of the Company or another proposed occupant of the Project (a "Project Occupant") from one area of the State of New York to another area of the State of New York? Yes ____; No ✓. If yes, please explain:

8. Will the completion of the Project result in the abandonment of one or more plants or facilities of the Company located in the State of New York? Yes____; No ☒. If yes, please provide detail:

9. If the answer to either question 7 or question 8 is yes, indicate whether any of the following apply to the Project:

- a. Is the Project reasonably necessary to preserve the competitive position of the Company or such Project Occupant in its industry? Yes____; No____. If yes, please provide detail:

N/A

- b. Is the Project reasonably necessary to discourage the Company or such Project Occupant from removing such other plant or facility to a location outside the State of New York? Yes____; No____. If yes, please provide detail:

N/A

10. Will the Project be owned by a not-for-profit corporation? Yes____; No ☒. If yes, please provide detail:

11. Will the Project be sold or leased to a municipality? Yes____; No ☒. If yes, please provide detail:

G. Other Involved Agencies:

1. Please indicate all other local agencies, boards, authorities, districts, commissions or governing bodies (including any city, county and other political subdivision of the State of New York and all state departments, agencies, boards, public benefit corporations, public authorities or commissions) involved in approving or funding or directly undertaking action with respect to the Project. For example, do you need a municipal building permit to undertake the Project? Do you need a zoning approval to undertake the Project? If so, you would list the appropriate municipal building department or planning or zoning commission which would give said approvals.

See attached document.

2. Describe the nature of the involvement of the federal, state, or local agencies described above:

See attached document.

H. Construction Status:

1. Has construction work on this project begun? Yes ☒; No _____. If yes, please discuss in detail the approximate extent of construction and the extent of completion. Indicate in your answer whether such specific steps have been completed as site clearance and preparation; completion of foundations; installation of footings; etc.:

Minimal expenditures to make the site safe.

2. Please indicate amount of funds expended on this Project by the Company in the past three (3) years and the purposes of such expenditures:

Purchase of property - \$575,000
Site prep and design - < \$300,000

3. Please indicate the date the applicant estimates the Project will be completed:
Fall 2025.

I. Method of Construction after Agency Approval:

1. If the Agency approves the project which is the subject of this application, there are two methods that may be used to construct the project. The applicant can construct the project privately and sell the project to the Agency upon completion. Alternatively, the applicant can request to be appointed as "agent" of the Agency, in which case certain laws applicable to public construction may apply to the project. Does the applicant wish to be designated as "agent" of the Agency for purposes of constructing the project? Yes ☒; No ____.
2. If the answer to question 1 is yes, does the applicant desire such "agent" status prior to the closing date of the financing? Yes ☒; No ____.

III. INFORMATION CONCERNING LEASES OR SUBLEASES OF THE PROJECT. (PLEASE COMPLETE THE FOLLOWING SECTION IF THE COMPANY INTENDS TO LEASE OR SUBLEASE ANY PORTION OF THE PROJECT).

- A. Does the Company intend to lease or sublease more than 10% (by area or fair market value) of the Project? Yes ____; No ☒. If yes, please complete the following for each existing or proposed tenant or subtenant:

1. Sublessee name:
Present Address:
City: _____ State: _____ Zip: _____

Employer's ID No.:

Sublessee is: ____ Corporation: ____ Partnership: ____ Sole Proprietorship

Relationship to Company:

Percentage of Project to be leased or subleased:

Use of Project intended by Sublessee:

Date of lease or sublease to Sublessee:

Term of lease or sublease to Sublessee:

Will any portion of the space leased by this sublessee be primarily used in making retail sales of goods or services to customers who personally visit the Project?

Yes ____; No _____. If yes, please provide on a separate attachment (a) details and (b) the answers to questions II(F)(4) through (6) with respect to such sublessee.

2. Sublessee name:

Present Address:

City: _____ State: _____ Zip: _____

Employer's ID No.:

Sublessee is:

____ Corporation: ____ Partnership: ____ Sole Proprietorship

Relationship to Company:

Percentage of Project to be leased or subleased:

Use of Project intended by Sublessee:

Date of lease or sublease to Sublessee:

Term of lease or sublease to Sublessee: _____

Will any portion of the space leased by this sublessee be primarily used in making retail sales of goods or services to customers who personally visit the Project?

Yes ____; No _____. If yes, please provide on a separate attachment (a) details and (b) the answers to questions II(F)(4) through (6) with respect to such sublessee.

3. Sublessee name:

Present Address:

City: _____ State: _____ Zip: _____

Employer's ID No.:

Sublessee is: ____ Corporation: ____ Partnership: ____ Sole Proprietorship

Relationship to Company:

Percentage of Project to be leased or subleased:

Use of Project intended by Sublessee:

Date of lease or sublease to Sublessee:

Term of lease or sublease to Sublessee:

Will any portion of the space leased by this sublessee be primarily used in making retail sales of goods or services to customers who personally visit the Project?

Yes ____; No _____. If yes, please provide on a separate attachment (a) details and (b) the answers to questions II(F)(4) through (6) with respect to such sublessee.

B. What percentage of the space intended to be leased or subleased is now subject to a binding written lease or sublease?

N/A

IV. Employment Impact

- A. Indicate the number of people presently employed at the Project site and the **additional** number that will be employed at the Project site at the end of the first and second years after the Project has been completed, using the tables below for (1) employees of the Applicant, (2) independent contractors, and (3) employees of independent contractors. (Do not include construction workers). Also indicate below the number of workers employed at the Project site representing newly created positions as opposed to positions relocated from other project sites of the applicant. Such information regarding relocated positions should also indicate whether such positions are relocated from other project sites financed by obligations previously issued by the Agency.

TYPE OF EMPLOYMENT Employees of Applicant					
	Professional or Managerial	Skilled	Semi-Skilled	Un-Skilled	Totals
Present Full Time					
Present Part Time					
Present Seasonal					
First Year Full Time	3	30	15		48
First Year Part Time				10	10
First Year Seasonal					
Second Year Full Time	5	40	35		80
Second Year Part Time				15	15
Second Year Seasonal					

TYPE OF EMPLOYMENT Independent Contractors					
	Professional or Managerial	Skilled	Semi-Skilled	Un-Skilled	Totals
Present Full Time					
Present Part Time					
Present Seasonal					
First Year Full Time					
First Year Part Time		5			5
First Year Seasonal					
Second Year Full Time					
Second Year Part Time		6			6
Second Year Seasonal					

TYPE OF EMPLOYMENT Employees of Independent Contractors					
	Professional or Managerial	Skilled	Semi-Skilled	Un-Skilled	Totals
Present Full Time					
Present Part Time					
Present Seasonal					

First Year Full Time					
First Year Part Time		10			10
First Year Seasonal					
Second Year Full Time					
Second Year Part Time		12			12
Second Year Seasonal					

- B. Indicate below (1) the estimated salary and fringe benefit averages or ranges and (2) the estimated number of employees residing in the Mid-Hudson Economic Development Region for all the jobs at the Project site, both retained and created, listed in the tables described in subsection A above for each of the categories of positions listed in the chart below.

RELATED EMPLOYMENT INFORMATION				
	Professional or Managerial	Skilled	Semi-Skilled	Un-Skilled
Estimated Salary and Fringe Benefit Averages or Ranges	\$80-\$200k	\$60-\$70k	\$45-\$60k	\$35-\$45k
Estimated Number of Employees Residing in the Mid-Hudson Economic Development Region ¹	90%	90%	90%	90%

- C. Please describe the projected timeframe for the creation of any new jobs with respect to the undertaking of the Project:

Phase 1 is set to be complete by Fall of 2023. At that time we anticipate creating at least 63 full and part time positions.

Phase 2 will follow 12-16 months after with a target opening date of Fall of 2024. At that time we will we have a total of 113 full and part time positions.

¹ The Mid-Hudson Economic Development Region consists of the following counties: Dutchess, Orange, Putnam, Rockland, Sullivan, Ulster, and Westchester.

- D. Please prepare a separate attachment describing in detail the types of employment at the Project site. Such attachment should describe the activities or work performed for each type of employment.

See attached document.

V. Project Cost and Financing Sources

- A. Anticipated Project Costs. State the costs reasonably necessary for the acquisition of the Project site, the construction of the proposed buildings and the acquisition and installation of any machinery and equipment necessary or convenient in connection therewith, and including any utilities, access roads or appurtenant facilities, using the following categories: See attached document.

<u>Description of Cost</u>	<u>Amount</u>
Land	\$ 575,000
Buildings	\$ 17,000,000
Machinery and equipment costs	\$ 2,000,000
Utilities, roads and appurtenant costs	\$ 1,500,000
Architects and engineering fees	\$ 700,000
Costs of Financing	\$ 0
Construction loan fees and interest (if applicable)	\$ 0
Other (specify)	
FF & E	\$ 2,500,000
Site Work	\$ 1,500,000
IT/AV	\$ 750,000
TOTAL PROJECT COSTS	\$ 26,525,000

- B. Anticipated Project Financing Sources. State the sources reasonably necessary for the financing of the Project site, the construction of the proposed buildings and the acquisition and installation of any machinery and equipment necessary or convenient in connection therewith, and including any utilities, access roads or appurtenant facilities, using the following categories:

<u>Description of Sources</u>	<u>Amount</u>
Private Sector Financing	\$ 10,000,000
Public Sector	
Federal Programs	\$
State Programs	\$ 3,000,000
Local Programs	\$
Applicant Equity	\$ 3,000,000
Other (specify, e.g., tax credits)	
Debt	\$ 10,000,000
	\$
	\$
TOTAL AMOUNT OF PROJECT FINANCING SOURCES	\$ 26,000,000

- C. Have any of the above expenditures already been made by the applicant?
Yes ☒; No _____. If yes, indicate particulars.

Engineering/design - \$80k

Land prep/site clean up - \$150k

Planning approvals & fees - \$40k

Material procurement - \$50k

- D. Amount of loan requested: \$ N/A;

Maturity requested: N/A years.

- E. Has a commitment for financing been received as of this application date, and if so, from whom?

Yes ☒; No _____. Institution Name: [REDACTED]

Provide name and telephone number of the person we may contact.

Name: _____ Phone: _____

- F. The percentage of Project costs to be financed from public sector sources is estimated to equal the following: 11.5%

- G. The total amount estimated to be borrowed to finance the Project is equal to the following:
\$ 10,000,000

VI. BENEFITS EXPECTED FROM THE AGENCY

A. Financing

1. Is the applicant requesting that the Agency issue bonds to assist in financing the project? Yes ____; No ☒. If yes, indicate:
 - a. Amount of loan requested: N/A Dollars;
 - b. Maturity requested: N/A Years.
2. If the answer to question 1 is yes, is the interest on such bonds intended to be exempt from federal income taxation? Yes ____; No ____.
3. If the answer to question 2 is yes, will any portion of the Project be used for any of the following purposes:
 - a. retail food and beverage services: Yes ____; No ____
 - b. automobile sales or service: Yes ____; No ____
 - c. recreation or entertainment: Yes ____; No ____
 - d. golf course: Yes ____; No ____
 - e. country club: Yes ____; No ____
 - f. massage parlor: Yes ____; No ____
 - g. tennis club: Yes ____; No ____
 - h. skating facility (including roller skating, skateboard and ice skating): Yes ____; No ____
 - i. racquet sports facility (including handball and racquetball court): Yes ____; No ____
 - j. hot tub facility: Yes ____; No ____
 - k. suntan facility: Yes ____; No ____
 - l. racetrack: Yes ____; No ____
4. If the answer to any of the above questions contained in question 3 is yes, please furnish details on a separate attachment.

B. Tax Benefits

1. Is the applicant requesting any real property tax exemption in connection with the Project that would not be available to a project that did not involve the Agency? Yes ☒; No _____. If yes, is the real property tax exemption being sought consistent with the Agency's Uniform Tax Exemption Policy? Yes ☒; No ____.
2. Is the applicant expecting that the financing of the Project will be secured by one or more mortgages? Yes ☒; No _____. If yes, what is the approximate amount of financing to be secured by mortgages? \$ 10,000,000.
3. Is the applicant expecting to be appointed agent of the Agency for purposes of avoiding payment of N.Y.S. Sales Tax or Compensating Use Tax? Yes ☒; No ____.

_____. If yes, what is the approximate amount of purchases which the applicant expects to be exempt from the N.Y.S. Sales and Compensating Use Taxes?
\$ 1,500,000

4. What is the estimated value of each type of tax-exemption being sought in connection with the Project? Please detail the type of tax-exemption and value of each exemption.

a.	N.Y.S. Sales and Compensating Use Taxes:	\$ 1,500,000
b.	Mortgage Recording Taxes:	\$ 105,000
c.	Real Property Tax Exemptions:	\$ 4,000,000
d.	Other (please specify):	\$ _____
	_____	\$ _____

5. Are any of the tax-exemptions being sought in connection with the Project inconsistent with the Agency's Uniform Tax Exemption Policy? Yes ____; No ☒. If yes, please explain.

- C. Project Cost/Benefit Information. Complete the attached Cost/Benefit Analysis so that the Agency can perform a cost/benefit analysis of undertaking the Project. Such information should consist of a list and detailed description of the benefits of the Agency undertaking the Project (e.g., number of jobs created, types of jobs created, economic development in the area, etc.). Such information should also consist of a list and detailed description of the costs of the Agency undertaking the Project (e.g., tax revenues lost, buildings abandoned, etc.).

VII. REPRESENTATIONS BY THE APPLICANT. The applicant understands and agrees with the Agency as follows:

- A. Job Listings. In accordance with Section 858-b(2) of the New York General Municipal Law, the applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, new employment opportunities created as a result of the Project will be listed with the New York State Department of Labor Community Services Division (the "DOL") and with the administrative entity (collectively with the DOL, the "JTPA Entities") of the service delivery area created by the federal job training partnership act (Public Law 97-300) ("JTPA"), as replaced by the Workforce Investment Act of 1998 (Public Law 105-220), in which the Project is located.
- B. First Consideration for Employment. In accordance with Section 858-b(2) of the New York General Municipal Law, the applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, except as otherwise provided by collective bargaining agreements, where practicable, the applicant will first consider persons eligible to participate in JTPA programs who shall be referred by the JTPA Entities for new employment opportunities created as a result of the Project.
- C. Annual Sales Tax Filings. In accordance with Section 874(8) of the New York General Municipal Law, the applicant understands and agrees that, if the Project receives any sales



tax exemptions as part of the Financial Assistance from the Agency, in accordance with Section 874(8) of the General Municipal Law, the applicant agrees to file, or cause to be filed, with the New York State Department of Taxation and Finance, the annual form prescribed by the Department of Taxation and Finance, describing the value of all sales tax exemptions claimed by the applicant and all consultants or subcontractors retained by the applicant.

- D. Annual Employment Reports. The applicant understands and agrees that, if the Project receives any Financial Assistance from the Agency, the applicant agrees to file, or cause to be filed, with the Agency, within 45 days of the end of the calendar year, reports regarding the number of people employed at the Project site, including (1) the NYS-45 – Quarterly Combined Withholding, Wage Reporting and Unemployment Insurance Return – for the quarter ending December 31 (the “NYS-45”), and (2) the US Dept. of Labor BLS 3020 Multiple Worksite report if applicable.
- E. Uniform Agency Project Agreement. The applicant agrees to enter into a project benefits agreement with the Agency where the applicant agrees that (1) the amount of Financial Assistance to be received shall be contingent upon, and shall bear a direct relationship to the success or lack of success of such project in delivering certain described public benefits (the “Public Benefits”) and (2) the Agency will be entitled to recapture some or all of the Financial Assistance granted to the applicant if the project is unsuccessful in whole or in part in delivering the promised Public Benefits.
- F. Representation of Financial Information. Neither this Application nor any other agreement, document, certificate, project financials, or written statement furnished to the Agency or by or on behalf of the applicant in connection with the project contemplated by this Application contains any untrue statement of a material fact or omits to state a material fact necessary in order to make the statements contained herein or therein not misleading. There is no fact within the special knowledge of any of the officers of the applicant which has not been disclosed herein or in writing by them to the Agency and which materially adversely affects or in the future in their opinion may, insofar as they can now reasonably foresee, materially adversely affect the business, properties, assets or condition, financial or otherwise, of the applicant.
- G. Agency Financial Assistance Required for Project. The Project would not be undertaken but for the Financial Assistance provided by the Agency or, if the Project could be undertaken without the Financial Assistance provided by the Agency, then the Project should be undertaken by the Agency for the following reasons:
- H. Compliance with Article 18-A of the General Municipal Law: The Project, as of the date of this Application, is in substantial compliance with all provisions of article 18-A of the General Municipal including, but not limited to, the provisions of Section 859-a and subdivision one of Section 862; and the provisions of subdivision one of Section 862 of

the General Municipal Law will not be violated if Financial Assistance is provided for the Project.

- I. Compliance with Federal, State, and Local Laws. The applicant is in substantial compliance with applicable local, state, and federal tax, worker protection, and environmental laws, rules, and regulations.
- J. False or Misleading Information. The applicant understands that the submission of any knowingly false or knowingly misleading information may lead to the immediate termination of any Financial Assistance and the reimbursement of an amount equal to all or part of any tax exemptions claimed by reason of Agency involvement in the Project.
- K. Absence of Conflicts of Interest. The applicant acknowledges that the members, officers and employees of the Agency are listed on the Agency's website. No member, officer or employee of the Agency has an interest, whether direct or indirect, in any transaction contemplated by this Application, except as hereinafter described:
- L. Additional Information. Additional information regarding the requirements noted in this Application and other requirements of the Agency are included in the Agency's Policies which can be accessed at:

[http://www.townofmontgomery.com/DepartmentsBoards/Boards/IndustrialDevelopment Agency](http://www.townofmontgomery.com/DepartmentsBoards/Boards/IndustrialDevelopmentAgency).

I affirm under penalty of perjury that all statements made on this application are true, accurate, and complete to the best of my knowledge.

By its execution below, the Applicant acknowledges and agrees to the following:

(i) The undersigned has read, understands and consents to the Agency's Local Labor Law Policy as adopted and amended (See, Policies at www.montgomeryida.com);

(ii) The undersigned affirms under the penalty of perjury that all statements made on this application are true, accurate and complete to the best of my knowledge; and

(iii) The undersigned understands and agrees that the Agency will rely on the statements made in this application.

By:

Michael Dorf


Applicant

Title:

CEO

NOTE: APPLICANT MUST ALSO COMPLETE THE APPROPRIATE VERIFICATION APPEARING ON PAGES 24 THROUGH 27 HEREOF BEFORE A NOTARY PUBLIC AND MUST SIGN AND ACKNOWLEDGE THE HOLD HARMLESS AGREEMENT APPEARING ON PAGE 28.

VERIFICATION

(If Applicant is a Corporation)

STATE OF _____)
) SS.:
COUNTY OF _____)

_____ deposes and says that he is the
(Name of chief executive of applicant)
_____ of _____,

(Title) (Company Name)

the corporation named in the attached application; that he has read the foregoing application and knows the contents thereof; and that the same is true and complete and accurate to the best of his knowledge. Deponent further says that the reason this verification is made by the deponent and not by said company is because the said company is a corporation. The grounds of deponent's belief relative to all matters in the said application which are not stated upon his own personal knowledge are investigations which deponent has caused to be made concerning the subject matter of this application as well as information acquired by deponent in the course of his duties as an officer of and from the books and papers of said corporation.

(officer of applicant)

Sworn to before me this
_____ day of _____, 20__.

(Notary Public)

VERIFICATION

(If applicant is sole proprietor)

STATE OF _____)
)
COUNTY OF _____) SS.:

_____, deposes and says
(Name of Individual)

that he has read the foregoing application and knows the contents thereof; and that the same is true and complete and accurate to the best of his knowledge. The grounds of deponent's belief relative to all matters in the said application which are not stated upon his own personal knowledge are investigations which deponent has caused to be made concerning the subject matter of this application.

Sworn to before me this
 ____ day of _____, 20__.

(Notary Public)

VERIFICATION

(If applicant is partnership)

STATE OF _____)
) SS.:
COUNTY OF _____)

_____, deposes and says

(Name of Individual)

that he is one of the members of the firm of _____.

(Partnership Name)

the partnership named in the attached application; that he has read the foregoing application and knows the contents thereof; and that the same is true and complete and accurate to the best of his knowledge. The grounds of deponent's belief relative to all matters in the said application which are not stated upon his own personal knowledge are investigations which deponent has caused to be made concerning the subject matter of this application as well as information acquired by deponent in the course of his duties as a member of and from the books and papers of said partnership.

Sworn to before me this
____ day of _____, 20__.

(Notary Public)

VERIFICATION

(If applicant is limited liability company)

STATE OF NY)

COUNTY OF Orange)

) SS.:

Michael Dorf

_____, deposes and says

(Name of Individual)

City Winery, LLC


that he is one of the members of the firm of _____,

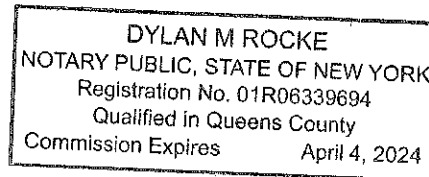
(Limited Liability Company)

the limit liability company named in the attached application; that he has read the foregoing application and knows the contents thereof; and that the same is true and complete and accurate to the best of his knowledge. The grounds of deponent's belief relative to all matters in the said application which are not stated upon his own personal knowledge are investigations which deponent has caused to be made concerning the subject matter of this application as well as information acquired by deponent in the course of his duties as a member of and from the books and papers of said limited liability company.

Sworn to before me this

8 day of December, 2022


(Notary Public)



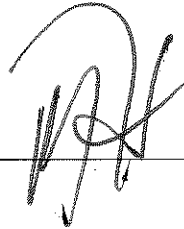
NOTE: THIS APPLICATION WILL NOT BE ACCEPTED BY THE AGENCY UNLESS THE HOLD HARMLESS AGREEMENT APPEARING ON PAGE 30 IS SIGNED BY THE APPLICANT.

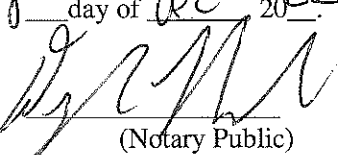
HOLD HARMLESS AGREEMENT

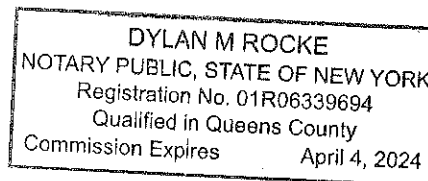
Applicant hereby releases Town of Montgomery Industrial Development Agency and the members, officers, servants, agents and employees thereof (hereinafter collectively referred to as the "Agency") from, agrees that the Agency shall not be liable for and agrees to indemnify, defend and hold the Agency harmless from and against any and all liability arising from or expense incurred by (A) the Agency's examination and processing of, and action pursuant to or upon, the attached Application, regardless of whether or not the application or the project described therein or the financial assistance requested therein are favorably acted upon by the Agency, (B) the Agency's financing, acquisition, construction and/or installation of the Project described therein; and (C) any further action taken by the Agency with respect to the Project, including without limiting the generality of the foregoing, all causes of action and attorneys' fees and any other expenses incurred in defending any suits or actions which may arise as a result of any of the foregoing. If, for any reason, the Applicant fails to conclude or consummate necessary negotiations, or fails, within a reasonable or specified period of time, to take reasonable, proper or requested action, or withdraws, abandons, cancels or neglects the Application, or if the Agency or the Applicant are unable to reach final agreement with respect to the Project or, if applicable, find buyers willing to purchase the total bond issue requested, then, and in that event, upon presentation of an invoice itemizing the same, the Applicant shall pay to the Agency, its agents or assigns, all actual costs incurred by the Agency in the processing of the Application, including attorneys' fees, if any.

(Applicant)

BY: _____



Sworn to before me this
8 day of Dec 2022

(Notary Public)



TO: Project Applicants
 FROM: Town of Montgomery Industrial Development Agency
 RE: Cost/Benefit Analysis

In order for the Town of Montgomery Industrial Development Agency (the "Agency") to prepare a Cost/Benefit Analysis for a proposed project (the "Project"), the Applicant must answer the questions contained in this Project Questionnaire (the "Questionnaire") and complete the attached Schedules. This Questionnaire and the attached Schedule will provide information regarding various aspects of the Project, and the costs and benefits associated therewith.

This Questionnaire must be completed before we can finalize the Cost/Benefit Analysis, please complete this Questionnaire and forward it to us at your earliest convenience.

PROJECT QUESTIONNAIRE See attached document.

1. Name of Project Beneficiary ("Company"):	Milk Factory, LLC
2. Brief Identification of the Project:	Adaptive reuse of Borden Milk Condensery
3. Estimated Amount of Project Benefits Sought:	
A. Amount of Bonds Sought:	\$ 0
B. Value of Sales Tax Exemption Sought	\$ 1,500,000
C. Value of Real Property Tax Exemption Sought	\$ \$4,000,000 +
D. Value of Mortgage Recording Tax Exemption Sought	\$ 105,000
4. Likelihood of accomplishing the Project in a timely fashion:	High

PROJECTED PROJECT INVESTMENT

A. Land-Related Costs	
1. Land acquisition	\$ 575,000
2. Site preparation	\$ 1,500,000
3. Landscaping	\$ 400,000
4. Utilities and infrastructure development	\$ 2,000,000
5. Access roads and parking development	\$ 700,000
6. Other land-related costs (describe)	\$ 0
B. Building-Related Costs	
1. Acquisition of existing structures	\$ 0
2. Renovation of existing structures	\$ 14,000,000
3. New construction costs	\$ 900,000
4. Electrical systems	\$ 2,000,000
5. Heating, ventilation and air conditioning	\$ 800,000
6. Plumbing	\$ 800,000
7. Other building-related costs (describe)	\$ 0

C.	Machinery and Equipment Costs	
1.	Production and process equipment	\$ 900,000
2.	Packaging equipment	\$ 50,000
3.	Warehousing equipment	\$ 150,000
4.	Installation costs for various equipment	\$ included
5.	Other equipment-related costs (describe)	\$ 300,000
D.	Furniture and Fixture Costs	
1.	Office furniture	\$ 30,000
2.	Office equipment	\$ 20,000
3.	Computers	\$ 30,000
4.	Other furniture-related costs (describe) Hotel / F & B	\$ 1,000,000
E.	Working Capital Costs	
1.	Operation costs	\$ N/A
2.	Production costs	\$ N/A
3.	Raw materials	\$ N/A
4.	Debt service	\$ N/A
5.	Relocation costs	\$ N/A
6.	Skills training	\$ N/A
7.	Other working capital-related costs (describe)	\$ N/A
F.	Professional Service Costs	
1.	Architecture and engineering	\$ 675,000
2.	Accounting/legal	\$ 25,000
3.	Other service-related costs (describe)	\$
G.	Other Costs	
1.		\$ N/A
2.		\$ N/A
H.	Summary of Expenditures	
1.	Total Land-Related Costs	\$ 5,175,000
2.	Total Building-Related Costs	\$ 18,500,000
3.	Total Machinery and Equipment Costs	\$ 1,400,000
4.	Total Furniture and Fixture Costs	\$ 1,080,000
5.	Total Working Capital Costs	\$ 0
6.	Total Professional Service Costs	\$ 700,000
7.	Total Other Costs	\$ 0

PROJECTED PROFIT

- I. Please provide projected profit as defined by earnings after income tax but before depreciation and amortization:

YEAR	Without IDA benefits	With IDA benefits
1	\$ _____	\$ _____
2	\$ _____	\$ _____
3	\$ _____	\$ _____
4	\$ _____	\$ _____
5	\$ _____	\$ _____

PROJECTED CONSTRUCTION EMPLOYMENT IMPACT

- I. Please provide estimates of total construction jobs and the total annual wages and benefits of construction jobs at the Project:

Year	Number of Construction Jobs	Total Annual Wages and Benefits	Estimated Additional NYS Income Tax
Current Year	15	\$ 40-150k	\$ _____
Year 1	90	\$ 40-150k	\$ _____
Year 2	120	\$ 40-150k	\$ _____
Year 3		\$ _____	\$ _____
Year 4		\$ _____	\$ _____
Year 5		\$ _____	\$ _____

PROJECTED PERMANENT EMPLOYMENT IMPACT

- I. Estimates of the total number of existing permanent jobs to be preserved or retained as a result of the Project are described in the tables in Section IV of the Application.
- II. Estimates of the total new permanent jobs to be created by the Project are described in the tables in Section IV of the Application.
- III. Please provide estimates for the following:
- A. Creation of New Job Skills relating to permanent jobs. Please complete Schedule A.
- IV. Provide the projected percentage of employment that would be filled by Town of Montgomery residents: 15
- A. Provide a brief description of how the project expects to meet this percentage:

This is based on local demographic data. We plan to target our hiring efforts to employ as many local people as possible.

PROJECTED OPERATING IMPACT

I. Please provide estimates for the impact of Project operating purchases and sales:

Additional Purchases (1 st year following project completion)	\$ <u>N/A</u>
Additional Sales Tax Paid on Additional Purchases	\$ <u>N/A</u>
Estimated Additional Sales (1 st full year following project completion)	\$ <u>N/A</u>
Estimated Additional Sales Tax to be collected on additional sales (1 st full year following project completion)	\$ <u>N/A</u>

II. Please provide estimates for the impact of Project on existing real property taxes and new payments in lieu of taxes ("Pilot Payments"):

Year	Existing Real Property Taxes (Without IDA involvement)	New Pilot Payments (With IDA)	Total (Difference)
Current Year	\$14,375		
Year 1	\$535,000	\$53,500	\$481,500
Year 2	\$535,000	\$53,500	\$481,500
Year 3	\$535,000	\$53,500	\$481,500
Year 4	\$535,000	\$133,750	\$401,250
Year 5	\$535,000	\$133,750	\$401,250
Year 6	\$535,000	\$133,750	\$401,250
Year 7	\$535,000	\$267,500	\$267,500
Year 8	\$535,000	\$267,500	\$267,500
Year 9	\$535,000	\$267,500	\$267,500
Year 10	\$535,000	\$321,000	\$214,000

III. Please provide a detailed description for the impact of other economic benefits and all anticipated community benefits expected to be produced as a result of the Project (attach additional pages as needed for a complete and detailed response):

Aside from creating long term jobs for the area in both manufacturing and hospitality, we plan on collaborating with as many local vendors as possible. From our produce, meats and craft beverages that we use in the restaurants, to the soaps and furniture throughout the property. We feel that's what makes the Hudson Valley special and we plan to leverage that wherever and whenever possible.

CERTIFICATION

I certify that I have prepared the responses provided in this Questionnaire and that, to the best of my knowledge, such responses are true, correct, and complete.

I understand that the foregoing information and attached documentation will be relied upon, and constitute inducement for, the Agency in providing financial assistance to the Project. I certify that I am familiar with the Project and am authorized by the Company to provide the foregoing information, and such information is true and complete to the best of my knowledge. I further agree that I will advise the Agency of any changes in such information, and will answer any further questions regarding the Project prior to the closing.

I affirm under penalty of perjury that all statements made on this application are true, accurate and complete to the best of my knowledge.

Date Signed: <u>12/ 08, 2022</u>	Name of Person Completing Project Questionnaire on behalf of the Company. Name: <u>[REDACTED]</u> Title: <u>[REDACTED]</u> Phone Number: <u>[REDACTED]</u> Address: <u>[REDACTED]</u> Signature: <u>[REDACTED]</u>
---	---

CREATION OF NEW JOB SKILLS

[illegible]

048960.00000 Business 16907656v2

The Milk Factory, LLC
25 11th Ave,
New York, NY 10011



List of Permits and Approvals Needed:

Federal

- Winery license from the Alcohol and Tobacco Tax and Trade Bureau: Expected April 2023
- Distillery license from the Alcohol and Tobacco Tax and Trade Bureau: Expected April 2023
- United States Army Corps of Engineers: Wetland disturbance permit

State

- Certificate of Authority from Dept of Tax and Finance: Expected July 2022
- Manufacturing and On-Premise Consumption license from State Liquor Authority: Expected February 2023
- SEQRA Environmental Assessment approval: Expected September 2022
- New York State Department of Transportation: Driveway entrances & drainage connections
- New York State Department of Environmental Conservation: State Pollutant Discharge Elimination System (SPDES) for Sewage Disposal System, SPDES for Construction Activity: Expected November 2023
- New York Office of Parks, Recreation and Historic Preservation: Review of impacts to historical structures: Expected September 2022
- New York State Department of Health: Public Water Supply: Expected November 2023

Local

- Food Service Establishment permit Orange County Department of Health: Expected May 2023
- Business Certificate from the Orange County Clerk's Office: Expected May 2023
- Certificate of Occupancy from Town of Montgomery Code Enforcement Officer: Expected May 2023

- Building Permit from Town of Montgomery Code Enforcement Officer: Expected September 2022
- Inspection by Fire Department: Expected May 2023
- Town of Montgomery Planning Board: Site Plan, Special Use, & Floodplain Development Permits: Expected September 2022
- Town of Montgomery Historic Preservation Commission: Site Plan Review: Expected August 2022
- Orange County Planning Department: General Municipal Law Section 239-I, m, & n Referral: Expected September 2022
- Orange County Department of Health: Public water supply: Expected May 2023

TAX PARCEL: 2 - 1 - 4
TOWN OF MONTGOMERY
COUNTY OF ORANGE
PARCEL A: 19.26 ACRES
PARCEL B: 0.54 ACRES
TOTAL: 19.80 ACRES

CWMD, LLC
143 ALUMICK ROAD
WALLKILL, NY 12589

CWMD, LLC
143 ALMICK ROAD
WALLKILL, NY 12589

LAWRENCE MARSHALL, P.E.
MERCURIO-NORTON-TAROLLI-MARSHALL (MNTM)
ENGINEERING & LAND SURVEYING, P.C.
PO BOX 166 - 45 MAIN STREET
PINE BUSH, NEW YORK 12566
(845) 744-3620

1) THE INFORMATION SHOWN HEREON IS BASED UPON AN ACTUAL FIELD SURVEY COMPLETED BY MENZIEB-HARRISON/INTELLIGENCE-HALL ENGINEERS & LAND SURVEYORS, P.C. ON MARCH 8, 1968 AND MOST RECENTLY LOCATED ON MARCH 8, 1968.

E.) SUBJECT TO ANY FACTS THAT MAY BE REVEALED BY AN ACCURATE, UP TO DATE, TITLE ABSTRACT REPORT.

INFORMATION ON SUBMISSIONS OF MANUSCRIPTS TO THE JOURNAL OF CLIMATE

5.) VERTICAL DIAPHRAGM IS AVAILABLE.

LANDS ACQUIRED FOR THE WALDEN-WALLRILL SECTION OF STATE HIGHWAY NO. 1940 OF NEW YORK STATE ROUTE 208) BY THE PEOPLE OF THE STATE NEW YORK FROM

CHRYSLER LABORER UNION 23, 2007, MAY 14, 21, 28, 2008, 23, 2009, 26, 2010, 29, 2011, 31, 2012, 34, 2013, 37, 2014, 40, 2015, 43, 2016, 46, 2017, 49, 2018, 52, 2019, 55, 2020, 58, 2021, 61, 2022, 64, 2023, 67, 2024, 70, 2025, 73, 2026, 76, 2027, 79, 2028, 82, 2029, 85, 2030, 88, 2031, 91, 2032, 94, 2033, 97, 2034, 100, 2035, 103, 2036, 106, 2037, 109, 2038, 112, 2039, 115, 2040, 118, 2041, 121, 2042, 124, 2043, 127, 2044, 130, 2045, 133, 2046, 136, 2047, 139, 2048, 142, 2049, 145, 2050, 148, 2051, 151, 2052, 154, 2053, 157, 2054, 160, 2055, 163, 2056, 166, 2057, 169, 2058, 172, 2059, 175, 2060, 178, 2061, 181, 2062, 184, 2063, 187, 2064, 190, 2065, 193, 2066, 196, 2067, 199, 2068, 202, 2069, 205, 2070, 208, 2071, 211, 2072, 214, 2073, 217, 2074, 220, 2075, 223, 2076, 226, 2077, 229, 2078, 232, 2079, 235, 2080, 238, 2081, 241, 2082, 244, 2083, 247, 2084, 250, 2085, 253, 2086, 256, 2087, 259, 2088, 262, 2089, 265, 2090, 268, 2091, 271, 2092, 274, 2093, 277, 2094, 280, 2095, 283, 2096, 286, 2097, 289, 2098, 292, 2099, 295, 2100, 298, 2101, 301, 2102, 304, 2103, 307, 2104, 310, 2105, 313, 2106, 316, 2107, 319, 2108, 322, 2109, 325, 2110, 328, 2111, 331, 2112, 334, 2113, 337, 2114, 340, 2115, 343, 2116, 346, 2117, 349, 2118, 352, 2119, 355, 2120, 358, 2121, 361, 2122, 364, 2123, 367, 2124, 370, 2125, 373, 2126, 376, 2127, 379, 2128, 382, 2129, 385, 2130, 388, 2131, 391, 2132, 394, 2133, 397, 2134, 400, 2135, 403, 2136, 406, 2137, 409, 2138, 412, 2139, 415, 2140, 418, 2141, 421, 2142, 424, 2143, 427, 2144, 430, 2145, 433, 2146, 436, 2147, 439, 2148, 442, 2149, 445, 2150, 448, 2151, 451, 2152, 454, 2153, 457, 2154, 460, 2155, 463, 2156, 466, 2157, 469, 2158, 472, 2159, 475, 2160, 478, 2161, 481, 2162, 484, 2163, 487, 2164, 490, 2165, 493, 2166, 496, 2167, 499, 2168, 502, 2169, 505, 2170, 508, 2171, 511, 2172, 514, 2173, 517, 2174, 520, 2175, 523, 2176, 526, 2177, 529, 2178, 532, 2179, 535, 2180, 538, 2181, 541, 2182, 544, 2183, 547, 2184, 550, 2185, 553, 2186, 556, 2187, 559, 2188, 562, 2189, 565, 2190, 568, 2191, 571, 2192, 574, 2193, 577, 2194, 580, 2195, 583, 2196, 586, 2197, 589, 2198, 592, 2199, 595, 2200, 598, 2201, 601, 2202, 604, 2203, 607, 2204, 610, 2205, 613, 2206, 616, 2207, 619, 2208, 622, 2209, 625, 2210, 628, 2211, 631, 2212, 634, 2213, 637, 2214, 640, 2215, 643, 2216, 646, 2217, 649, 2218, 652, 2219, 655, 2220, 658, 2221, 661, 2222, 664, 2223, 667, 2224, 670, 2225, 673, 2226, 676, 2227, 679, 2228, 682, 2229, 685, 2230, 688, 2231, 691, 2232, 694, 2233, 697, 2234, 700, 2235, 703, 2236, 706, 2237, 709, 2238, 712, 2239, 715, 2240, 718, 2241, 721, 2242, 724, 2243, 727, 2244, 730, 2245, 733, 2246, 736, 2247, 739, 2248, 742, 2249, 745, 2250, 748, 2251, 751, 2252, 754, 2253, 757, 2254, 760, 2255, 763, 2256, 766, 2257, 769, 2258, 772, 2259, 775, 2260, 778, 2261, 781, 2262, 784, 2263, 787, 2264, 790, 2265, 793, 2266, 796, 2267, 799, 2268, 802, 2269, 805, 2270, 808, 2271, 811, 2272, 814, 2273, 817, 2274, 820, 2275, 823, 2276, 826, 2277, 829, 2278, 832, 2279, 835, 2280, 838, 2281, 841, 2282, 844, 2283, 847, 2284, 850, 2285, 853, 2286, 856, 2287, 859, 2288, 862, 2289, 865, 2290, 868, 2291, 871, 2292, 874, 2293, 877, 2294, 880, 2295, 883, 2296, 886, 2297, 889, 2298, 892, 2299, 895, 2300, 898, 2301, 901, 2302, 904, 2303, 907, 2304, 910, 2305, 913, 2306, 916, 2307, 919, 2308, 922, 2309, 925, 2310, 928, 2311, 931, 2312, 934, 2313, 937, 2314, 940, 2315, 943, 2316, 946, 2317, 949, 2318, 952, 2319, 955, 2320, 958, 2321, 961, 2322, 964, 2323, 967, 2324, 970, 2325, 973, 2326, 976, 2327, 979, 2328, 982, 2329, 985, 2330, 988, 2331, 991, 2332, 994, 2333, 997, 2334, 1000, 2335, 1003, 2336, 1006, 2337, 1009, 2338, 1012, 2339, 1015, 2340, 1018, 2341, 1021, 2342, 1024, 2343, 1027, 2344, 1030, 2345, 1033, 2346, 1036, 2347, 1039, 2348, 1042, 2349, 1045, 2350, 1048, 2351, 1051, 2352, 1054, 2353, 1057, 2354, 1060, 2355, 1063, 2356, 1066, 2357, 1069, 2358, 1072, 2359, 1075, 2360, 1078, 2361, 1081, 2362, 1084, 2363, 1087, 2364, 1090, 2365, 1093, 2366, 1096, 2367, 1099, 2368, 1102, 2369, 1105, 2370, 1108, 2371, 1111, 2372, 1114, 2373, 1117, 2374, 1120, 2375, 1123,

THE LOCATION OF THE ROAD
IN THE ROAD TO THE ROAD
AND TAX PARCEL 2-1-11 IS REFERRED TO AS PARCEL IN THE LOCATION OF THE ROAD
BATH CRESTWAY 2-1-11 TO ACCESS TAX PARCEL 2-1-11 FROM TAX PARCEL 2-1-11

18.) THE ENTRITY OF THE SUBJECT PARCEL IS LOCATED WITHIN THE TOWN OF MONTGOMERY

ALSO LOCATED WITHIN THE TOWN OF MONTGOMERY FLOODPLAIN DISTRICT.

REVISOR	
---------	--

2010	2011	2012	2013
------	------	------	------

[illegible][illegible]

DETAIL A				
----------	--	--	--	--

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

FRAMING DETAIL PLAN				
---------------------	--	--	--	--

201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654
-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

DATE	TIME	LOCATION	WIND DIRECTION	WIND SPEED	WAVE PERIOD	WAVE HEIGHT	WAVE LENGTH	WAVE PERIOD	WAVE HEIGHT	WAVE LENGTH
12/1/82	10:00	1000	100	10	10	10	10	10	10	10
12/1/82	11:00	1000	100	10	10	10	10	10	10	10
12/1/82	12:00	1000	100	10	10	10	10	10	10	10
12/1/82	13:00	1000	100	10	10	10	10	10	10	10
12/1/82	14:00	1000	100	10	10	10	10	10	10	10
12/1/82	15:00	1000	100	10	10	10	10	10	10	10
12/1/82	16:00	1000	100	10	10	10	10	10	10	10
12/1/82	17:00	1000	100	10	10	10	10	10	10	10
12/1/82	18:00	1000	100	10	10	10	10	10	10	10
12/1/82	19:00	1000	100	10	10	10	10	10	10	10
12/1/82	20:00	1000	100	10	10	10	10	10	10	10
12/1/82	21:00	1000	100	10	10	10	10	10	10	10
12/1/82	22:00	1000	100	10	10	10	10	10	10	10
12/1/82	23:00	1000	100	10	10	10	10	10	10	10
12/1/82	00:00	1000	100	10	10	10	10	10	10	10
12/1/82	01:00	1000	100	10	10	10	10	10	10	10
12/1/82	02:00	1000	100	10	10	10	10	10	10	10
12/1/82	03:00	1000	100	10	10	10	10	10	10	10
12/1/82	04:00	1000	100	10	10	10	10	10	10	10
12/1/82	05:00	1000	100	10	10	10	10	10	10	10
12/1/82	06:00	1000	100	10	10	10	10	10	10	10
12/1/82	07:00	1000	100	10	10	10	10	10	10	10
12/1/82	08:00	1000	100	10	10	10	10	10	10	10
12/1/82	09:00	1000	100	10	10	10	10	10	10	10
12/1/82	10:00	1000	100	10	10	10	10	10	10	10
12/1/82	11:00	1000	100	10	10	10	10	10	10	10
12/1/82	12:00	1000	100	10	10	10	10	10	10	10
12/1/82	13:00	1000	100	10	10	10	10	10	10	10
12/1/82	14:00	1000	100	10	10	10	10	10	10	10
12/1/82	15:00	1000	100	10	10	10	10	10	10	10
12/1/82	16:00	1000	100	10	10	10	10	10	10	10
12/1/82	17:00	1000	100	10	10	10	10	10	10	10
12/1/82	18:00	1000	100	10	10	10	10	10	10	10
12/1/82	19:00	1000	100	10	10	10	10	10	10	10
12/1/82	20:00	1000	100	10	10	10	10	10	10	10
12/1/82	21:00	1000	100	10	10	10	10	10	10	10
12/1/82	22:00	1000	100	10	10	10	10	10	10	10
12/1/82	23:00	1000	100	10						

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----	-----

[illegible]

WATER RESOLUTION DETAILS				
--------------------------	--	--	--	--

The Milk Factory



Location Map
SCALE 1" = 1000'



Mercurio-Norton-Tarolli-Marshall
—ENGINEERING—LAND SURVEYING—
PO BOX 166; 45 MAIN STREET; PINE BUSH, NY 12566
P: (945) 744 2620 E: (945) 744 2805 MNTM@MNTM.CO

ENGINEERING - LAND SURVEYING
PO BOX 166; 45 MAIN STREET; PINE BUSH, NY 12566
P: (845)744 3620 F:(845)744 3620 E:NOTM@NOTM.CO

Zoning Legend: 1-3		
PROPERTY, INDUSTRY, HOTEL - SPECIAL EXCEPTION USE	PERMITTED IN	PROHIBITED
ANYMAN LOT AREA	40.0000 AC.	100.0000 AC. (3)
ANYMAN LOT COVERAGE (2)	40%	84.0% (3)
ANYMAN LOT WIDTH	100'	100.0'
ANYMAN FRONT YARD	50'	34.4' (3)
ANYMAN REAR YARD	30'	8.0'
ANYMAN SIDE YARD (2)	10'	10.0'
ANYMAN SIDE YARD WIDTH	40'	50.0'
ANYMAN FRONT	50'	50'

Zoning Legend: 1-3

















































































- (c) BULK ZONING REGULATIONS AS PER SECTION 8-06 ATTACHMENT B TO MAYNARD LOT COVERAGE DEFINED AS THE PERCENTAGE OF TOTAL LOT AREA COVERED BY MAIN AND ACCESSORY BUILDINGS.
- (d) PROPOSED MINIMUM LOT AREA REFLECTS THE NET AREA OF THE SUBJECT PARCEL, THE PROPOSED AREA OF THE PARCEL BEING SEVERED FROM THE PROJECT SITE CONTAINING ACCESS TO THE PROPOSED LOT, AND THE PROPOSED LOT AREA LESS ALL EXISTING IMPROVEMENTS (LOT AREA), 7,690 SQUARE FEET OF AREA WITH 13.00% SLOPE (50% REMOVED), AND (GROSS SQUARE FEET OF AREA WITH GREATER THAN 50% SLOPE 000% REMOVED).
- (e) THE LOT COVERAGE REFLECTS THE PERCENTAGE OF TOTAL PROPOSED BUILDING COVERAGE ON THE NET LOT AREA.
- (f) A SETBACK TRACK IS A PRE-EXISTING NONCONFORMING SETBACK FROM THE FRONT PROPERTY LINE TO THE BUILDING TO BE RELOCATED INTO A MORE IDEAL

Parking Requirements

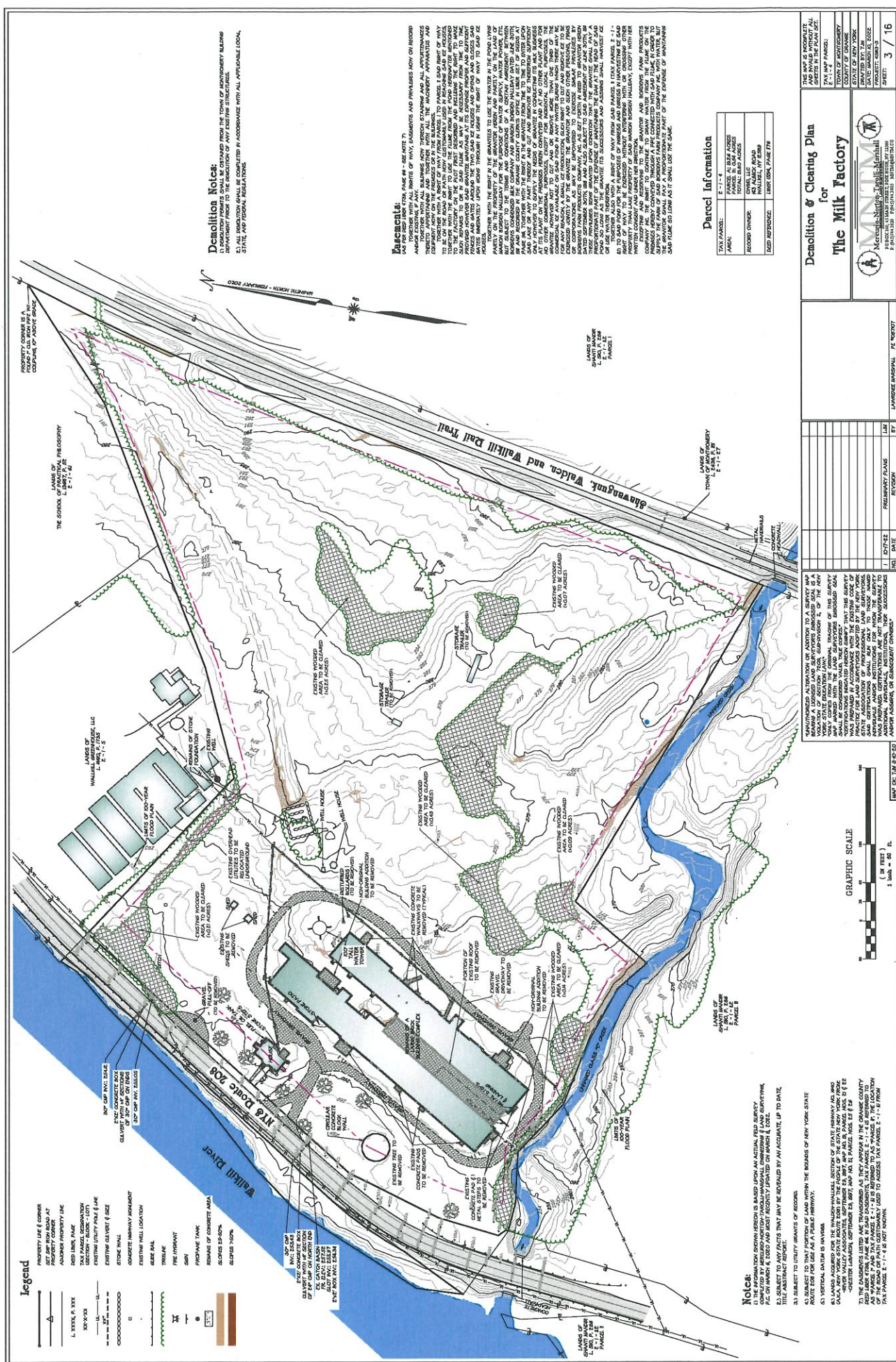
USE	TOWN FARMHOUSE REQUIREMENT PER	PROPOSED CAPACITY	SPACES REQUIRED
HOTEL	1 SPACE PER BED ROOM + 1 SPACE PER 4 SEMI-PRIVATE SEATS	40 BED ROOMS 4 SEMI-PRIVATE	41
RESTAURANT	1 SPACE PER 4 PERMANENT SEATS	170 SEATS	43
BAR	1 SPACE PER 4 PERMANENT SEATS	80 SEATS	5
WINEBAR VOLUME	1 SPACE PER 4 PERMANENT SEATS	400 SEATS	100
TOTAL SPACES REQUIRED:			151

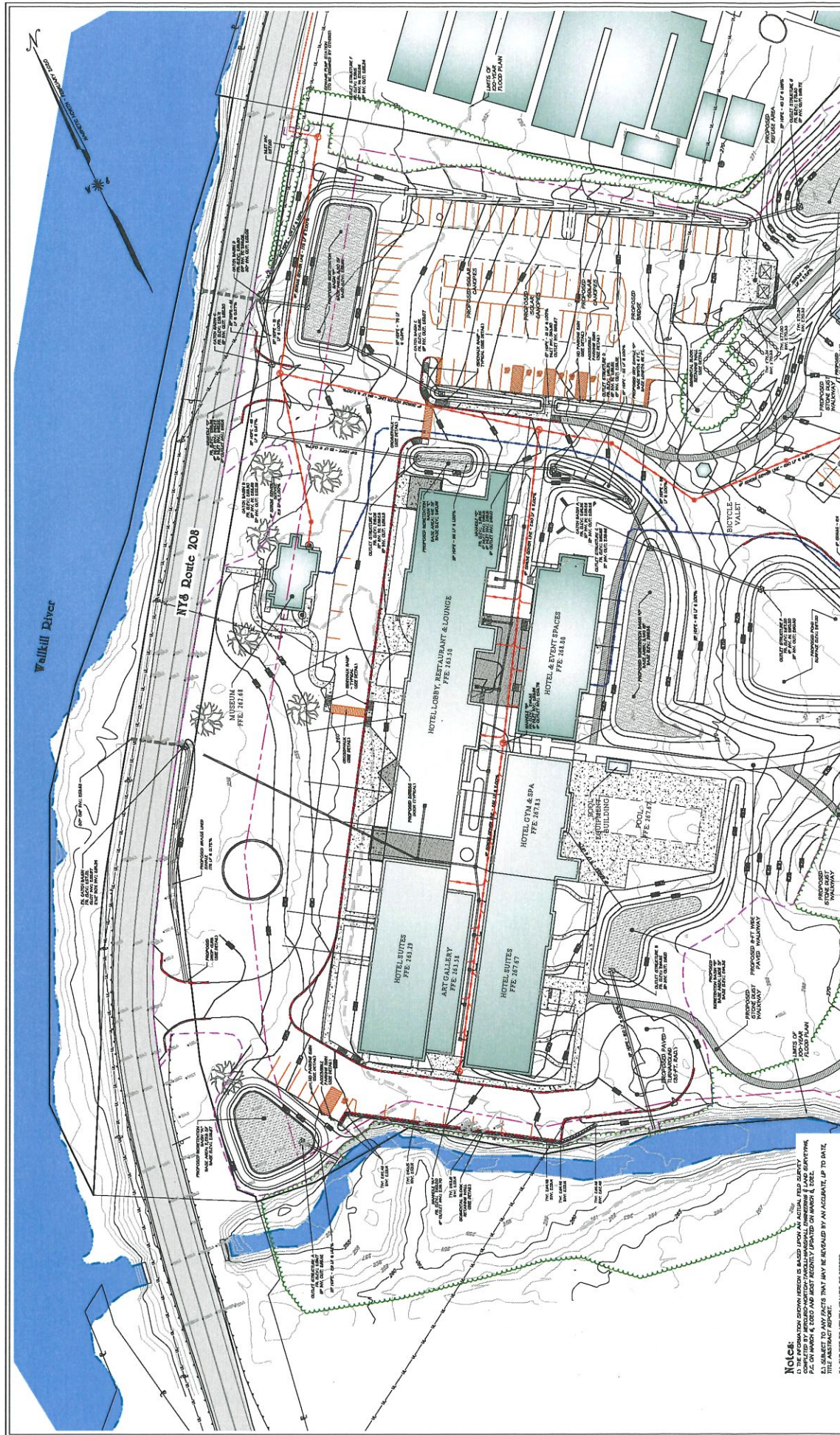
DATE	DESCRIPTION	AMOUNT	BALANCE
1990-01-01	OPENING BALANCE	100.00	100.00
1990-01-15	PAYROLL	50.00	50.00
1990-02-01	RENT	25.00	25.00
1990-02-15	PAYROLL	50.00	75.00
1990-03-01	RENT	25.00	50.00
1990-03-15	PAYROLL	50.00	0.00
1990-04-01	RENT	25.00	25.00
1990-04-15	PAYROLL	50.00	75.00
1990-05-01	RENT	25.00	50.00
1990-05-15	PAYROLL	50.00	0.00
1990-06-01	RENT	25.00	25.00
1990-06-15	PAYROLL	50.00	75.00
1990-07-01	RENT	25.00	50.00
1990-07-15	PAYROLL	50.00	0.00
1990-08-01	RENT	25.00	25.00
1990-08-15	PAYROLL	50.00	75.00
1990-09-01	RENT	25.00	50.00
1990-09-15	PAYROLL	50.00	0.00
1990-10-01	RENT	25.00	25.00
1990-10-15	PAYROLL	50.00	75.00
1990-11-01	RENT	25.00	50.00
1990-11-15	PAYROLL	50.00	0.00
1990-12-01	RENT	25.00	25.00
1990-12-15	PAYROLL	50.00	75.00
1991-01-01	CLOSING BALANCE	75.00	75.00

Legend

 PROPERTY LINE (COMMON)	 BOUNDARY LINE	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	 WELL	 ZONING BOUNDARY	 EASEMENT	 RIGHT OF WAY	 WATERCOURSE	
---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	---	--	---	---	--	--

SHEET: 1 / 16





Notes:

1. THE LANDS LISTED ARE TRANSFERRED AS THEY APPEAR IN THE GRANGE COUNTY TAX MAPS AND THE PARCELS 1 - 11 ARE REFERRED TO AS PARCELS 1 - 11 FROM THE TAX MAPS. PARCELS 1 - 11 ARE NOT SHOWN.

2. THE LANDS LISTED ARE TRANSFERRED AS THEY APPEAR IN THE GRANGE COUNTY TAX MAPS AND THE PARCELS 1 - 11 ARE REFERRED TO AS PARCELS 1 - 11 FROM THE TAX MAPS. PARCELS 1 - 11 ARE NOT SHOWN.

3. THE LANDS LISTED ARE TRANSFERRED AS THEY APPEAR IN THE GRANGE COUNTY TAX MAPS AND THE PARCELS 1 - 11 ARE REFERRED TO AS PARCELS 1 - 11 FROM THE TAX MAPS. PARCELS 1 - 11 ARE NOT SHOWN.

4. THE LANDS LISTED ARE TRANSFERRED AS THEY APPEAR IN THE GRANGE COUNTY TAX MAPS AND THE PARCELS 1 - 11 ARE REFERRED TO AS PARCELS 1 - 11 FROM THE TAX MAPS. PARCELS 1 - 11 ARE NOT SHOWN.

5. THE LANDS LISTED ARE TRANSFERRED AS THEY APPEAR IN THE GRANGE COUNTY TAX MAPS AND THE PARCELS 1 - 11 ARE REFERRED TO AS PARCELS 1 - 11 FROM THE TAX MAPS. PARCELS 1 - 11 ARE NOT SHOWN.

GRAPHIC SCALE

1 inch = 50 feet

Site Plan Detail A

for

The Milk Factory

Map

DATE: MARCH 1, 2022

BY: LANDMARK ENGINEERING, P.C.

PROJECT: THE MILK FACTORY

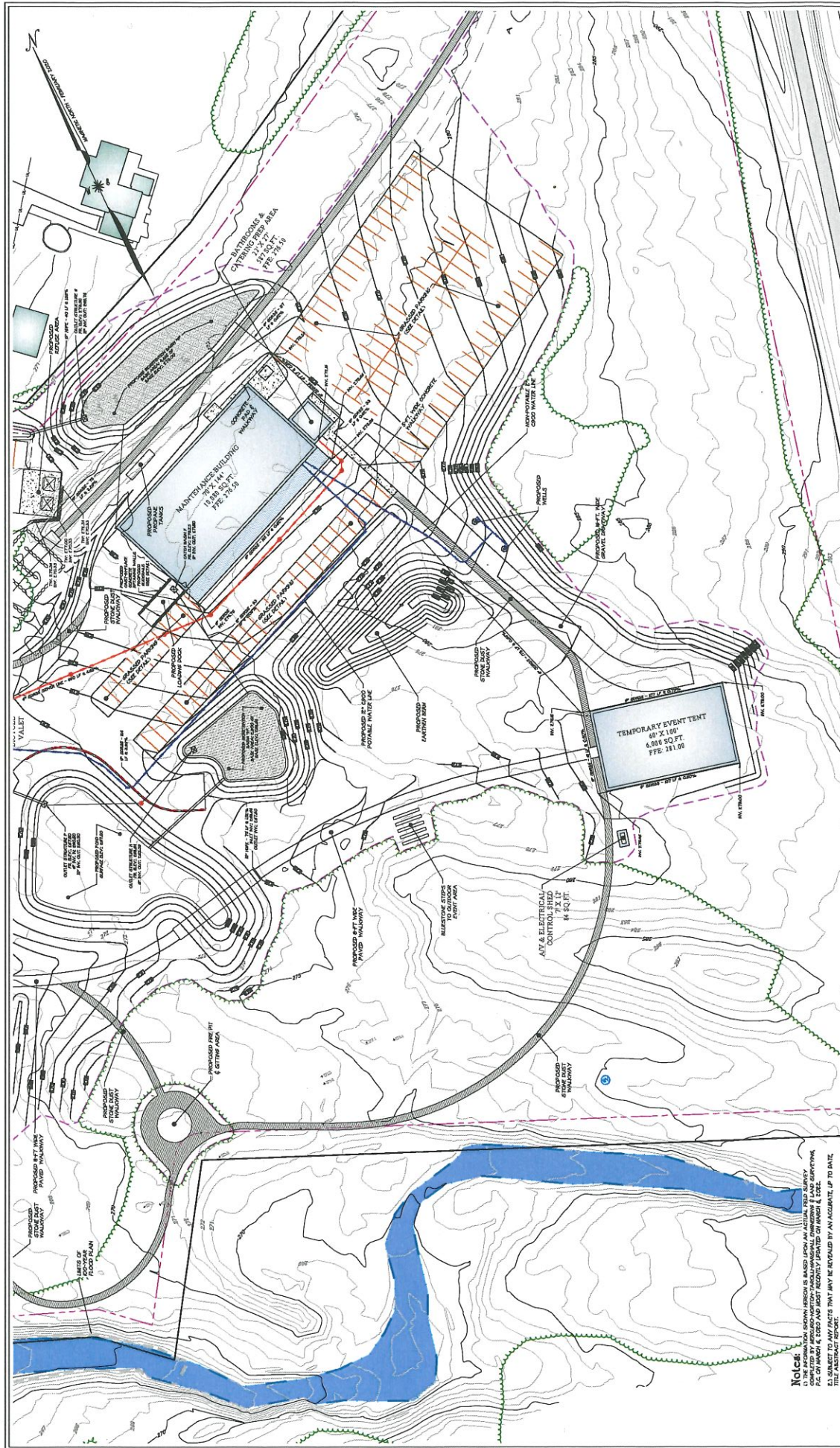
LOCATION: 1000 WALKILL AVENUE, WALKILL, NY 12580

OWNER: LANDMARK ENGINEERING, P.C.

SCALE: 1" = 50'

SHEET: 5 OF 16

[illegible][illegible][illegible]



Notes

1. ALL DIMENSIONS ARE BASED UPON A 10' X 10' GRID.
2. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
3. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
4. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
5. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
6. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
7. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
8. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
9. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.
10. THE LOCATION OF THE TENT IS SUBJECT TO CHANGE BASED UPON THE RESULTS OF THE SURVEY.

Site Plan Detail C
for
The Milk Factory

MANHATTAN SCHOOL OF ARCHITECTURE
P. 001111000 PROJECT/10000 SUPERSEDES

THIS MAP IS UNOFFICIAL
AND NOT TO BE USED
FOR ANY PURPOSE
OTHER THAN THE
PURPOSES FOR WHICH
IT WAS PREPARED.
DATE: 08/01/2011
DRAWN BY: JLM
CHECKED BY: JLM
DATE: 08/01/2011
SHEET: 7 / 16

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP
IS PROHIBITED. ANY SUCH ALTERATION OR ADDITION SHALL
BE CONSIDERED A VIOLATION OF THE SURVEY MAP ACT.
THE SURVEY MAP ACT IS A LAW OF THE STATE OF NEW YORK.
IT IS THE POLICY OF THE STATE OF NEW YORK TO PROTECT
THE PUBLIC INTEREST IN THE ACCURACY AND RELIABILITY
OF SURVEY MAPS. ANY PERSON WHO VIOLATES THE
SURVEY MAP ACT SHALL BE SUBJECT TO PENALTY.
THE SURVEY MAP ACT IS A LAW OF THE STATE OF NEW YORK.
IT IS THE POLICY OF THE STATE OF NEW YORK TO PROTECT
THE PUBLIC INTEREST IN THE ACCURACY AND RELIABILITY
OF SURVEY MAPS. ANY PERSON WHO VIOLATES THE
SURVEY MAP ACT SHALL BE SUBJECT TO PENALTY.

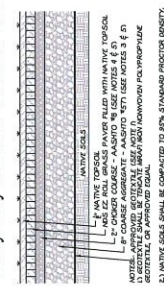
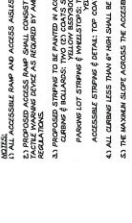
NO.	DATE	BY	REVISION
1	07-17-12	JLM	PRELIMINARY PLANS

GRAPHIC SCALE

1 inch = 50 feet



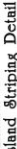
Figure 1 is a cross-sectional diagram of a composite deck and subgrade. The diagram shows a cross-section of a road deck. At the top is a thin layer labeled "ASPHALT PAVEMENT". Below it is a thicker layer labeled "CONCRETE DECK". The concrete deck has a total thickness of "2" and a width of "12". Inside the concrete deck, there is a horizontal line labeled "c" and a vertical line labeled "a". Below the concrete deck is a layer labeled "COMPACTED SUBGRADE". The subgrade has a thickness of "1" and a width of "12". The total width of the structure is "12".

[illegible]

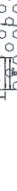
NOT TO SCALE



NOT TO SCALE



10
NOT TO SCALE



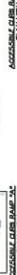
Standard Curb Detail



NOT TO SCALE



NOT TO SCALE



James Jones and Associates



THIS MAP IS INCOMPLETE
AND INVALID WITHOUT ALL
SHEET(S) IN THE PLAT SET.

TAX MAP PARCEL:
5 - 3 - 4

TOWN OF MONTGOMERY
COUNTY OF ORANGE

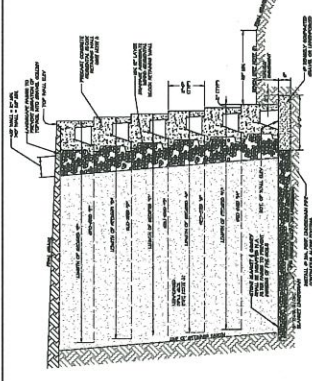
STATE OF NEW YORK

DRAFTED BY: TJM

DATE: MARCH 14, 2022

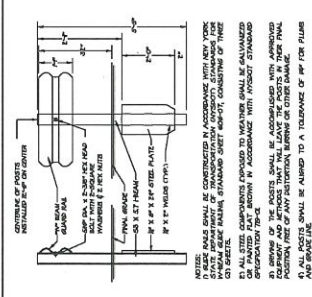
PROJECT: 4563-3

SHEET: 10 / 16



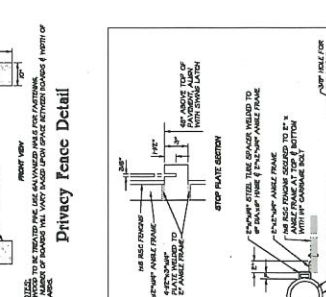
Segmental Retaining Wall Section

NOTES: 1. WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND ANY AMENDMENTS THEREOF. 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED. 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. 4. THE WALL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12\"/>



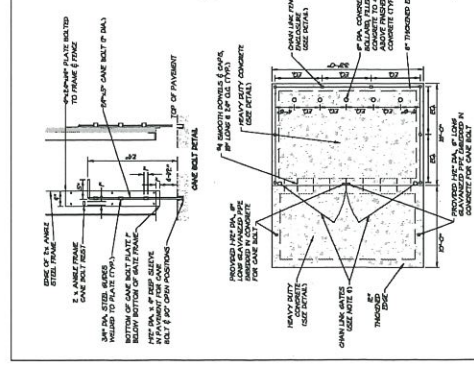
Guide Rail Detail

NOTES: 1. GUIDE RAIL SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND ANY AMENDMENTS THEREOF. 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED. 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. 4. THE GUIDE RAIL SHALL BE CONSTRUCTED WITH A MINIMUM OF 12\"/>



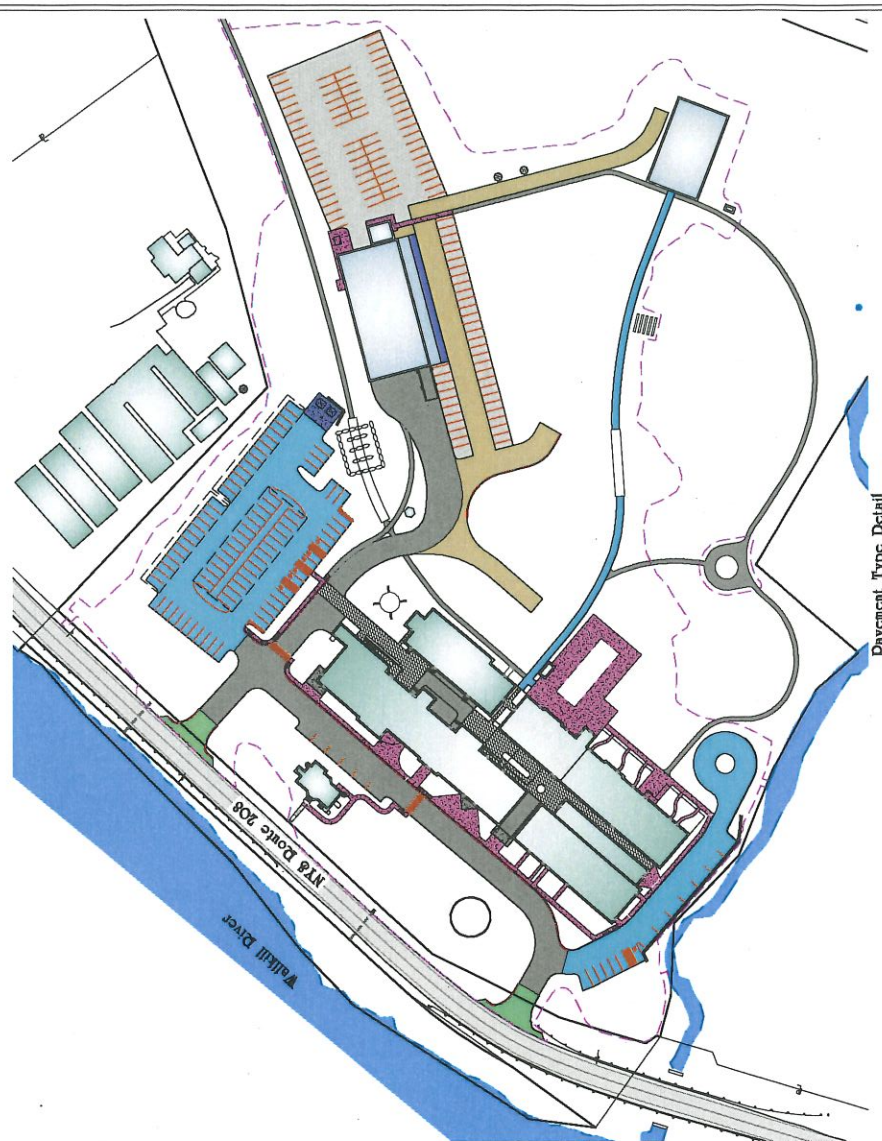
Privacy Fence Detail

NOTES: 1. PRIVACY FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND ANY AMENDMENTS THEREOF. 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED. 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. 4. THE PRIVACY FENCE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12\"/>



Dumpster Enclosure Details

NOTES: 1. DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION, AND ANY AMENDMENTS THEREOF. 2. ALL DIMENSIONS SHALL BE IN FEET AND INCHES, UNLESS OTHERWISE SPECIFIED. 3. ALL MATERIALS SHALL BE OF THE BEST QUALITY AVAILABLE. 4. THE DUMPSTER ENCLOSURE SHALL BE CONSTRUCTED WITH A MINIMUM OF 12\"/>



Pavement Type Detail

SCALE: 1" = 40'

LEGEND:

- HEAVY DUTY ASPHALT PAVEMENT
- STANDARD ASPHALT PAVEMENT
- STANDARD CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- GRASS PAVING
- STONE SET WALKWAY PATH
- CONCRETE PAVEMENT

THIS DRAWING IS A PART OF THE PROJECT FOR THE MILK FACTORY, SITUATED IN THE TOWN OF MONTICELLO, COUNTY OF ORANGE, STATE OF NEW YORK. DATE: 08/01/2022. DRAWN BY: J.M. CHECKED BY: J.M. SCALE: 1" = 40'. SHEET: 11 / 16.

Detail Sheet 2

for

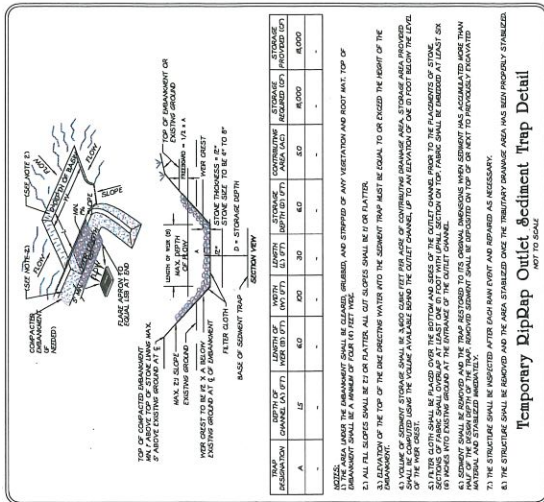
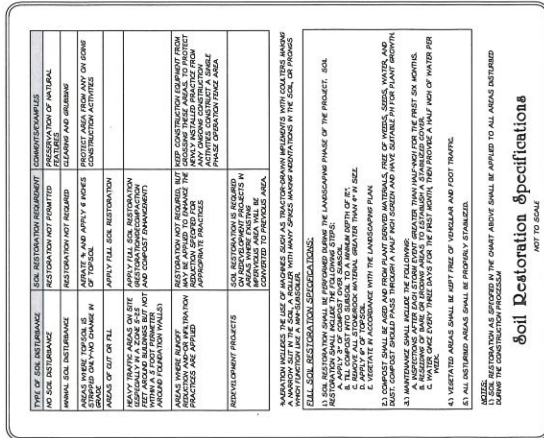
The Milk Factory

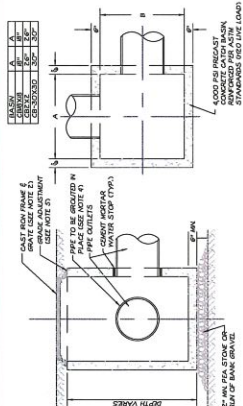
MANUFACTURED BY: [Logo]

DESIGNED BY: [Logo]

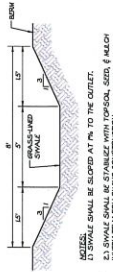
ENGINEER: [Logo]

ARCHITECT: [Logo]

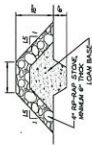




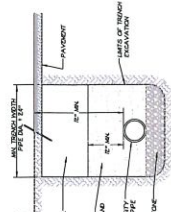
Typical Catch Basin Detail



Overflow Swale Detail



Permanent Rip-Rap Check Dam Detail



Typical Storm Sewer Trench Detail

Permeable Soil Notes

LANDING SOIL SHALL BE A SANDY LOAM, LOAMY SAND, OR LOAM, A COMBINATION CONTAINING AT LEAST 25% SAND BY VOLUME. THE CLAY CONTENT FOR SOILS SHALL BE LESS THAN 25% BY VOLUME. SOILS SHALL FALL WITHIN THE SN OR ML CLASSIFICATIONS OF THE UNITED SOIL CLASSIFICATION SYSTEM (U.S.C.). A PERMEABILITY OF AT LEAST 10 PER DAY (QSPH) IS REQUIRED. THE SOIL SHALL BE FREE OF STONES, STUMPS, ROOTS, OR OTHER HARD MATERIAL OVER 1/2 IN DIAMETER AND BRUSH OR WEEDS FROM MONOCULS WEEDS. PLACEMENT OF THE LANDING SOIL SHALL BE IN LIFTS OF 12 TO 18" DEPTH. THE LANDING SOIL SHALL BE LOOSELY COMPACTED (TAMPED LIGHTLY WITH A DOZER BACKHOCK BUCKET).

PARAMETER	VALUE
pH RANGE	5.2 TO 7.0
ORGANIC MATTER	10 TO 15%
NITROGEN	3.0 TO 4.0%
PHOSPHORUS	75 LBS. PER ACRE, MAX.
POTASSIUM	85 LBS. PER ACRE, MAX.
SOLUBLE SALTS	300 PPM
CLAY	0 TO 0%
SILT	0 TO 10%

A MINIMUM OF 2.5" OF MELCH SHALL BE APPLIED ON THE INTERIOR OF THE BASIN MELCH SHALL ALSO BE APPLIED AROUND INDIVIDUAL PLANTINGS WITHIN THE BASIN. THE MELCH LAYER SHALL BE STANDARD SCAPPE STYLE, SINGLE OR DOUBLE, SPUNDED DOWNWARD MELCH OR CHIPS. THE MELCH LAYER SHALL BE WELL AGED STOCKPILE OR STORED FOR AT LEAST NINE (9) MONTHS, UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS, SUCH AS WEED SEEDS, STONES,

Stormwater Facility Maintenance Requirements

THE OWNER / OPERATOR WILL BE RESPONSIBLE FOR ENSURING LONG TERM MAINTENANCE OF THE CONSTRUCTED WATER QUALITY AND QUANTITY CONTROL DEVICES. MAINTENANCE OF THE DEVICES IS REQUIRED TO ENSURE PROPER TREATMENT OF STORMWATER RUNOFF AND INCLUDES THE FOLLOWING:

BIORETENTION BASINS: BIORETENTION BASINS SHALL BE INSPECTED REGULARLY TO ENSURE PROPER FUNCTION. PARTICULAR ATTENTION SHALL BE GIVEN TO THE FOLLOWING: (1) THE BASIN SHALL BE KEPT FREE OF ACCUMULATION OF SEDIMENT. SEDIMENT SHALL BE REMOVED FROM THE BIORETENTION BASIN WHEN MORE THAN 2 INCHES OF MATERIAL HAS ACCUMULATED, OR WHEN THE BASIN IS VISUALLY OVERFLOWING. (2) THE BASIN SHALL BE KEPT FREE OF WEEDS AND OTHER UNDESIRABLE PLANT MATERIAL. PLANT MATERIAL SHALL BE REMOVED DURING MAINTENANCE OPERATIONS. VEGETATION SHALL BE LIMITED TO A HEIGHT OF 6 INCHES ON THE NORMAL ROAD OR DISBURSED PLANT MATERIAL. (3) THE BASIN SHALL BE KEPT FREE OF ANY OBSTACLES TO FLOW. ANY OBSCURE OR PROTRUSIVE OBSTACLES SHALL BE REMOVED. (4) THE BASIN SHALL BE INSPECTED FOR ANY SIGNIFICANT EROSION OR ANNUAL BASES. REINFORCEMENT OR REPLACEMENT OF THE TOP SOIL SHALL BE DONE AS NECESSARY. (5) THE BASIN SHALL BE KEPT FREE OF SURFACE OF THE BASIN FOR MORE THAN 10 INCHES.

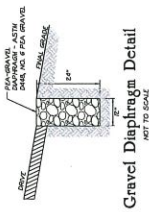
OUTLET STRUCTURES: OUTLET STRUCTURES SHALL BE INSPECTED REGULARLY TO ENSURE THE DEVICES ARE PROPERLY FUNCTIONING. ANY AND ALL DEVICES LOCATED WITHIN THE BASINS SHALL BE REMOVED DURING INSPECTION. SPECIAL ATTENTION SHOULD BE GIVEN TO THE OUTLET PIPE TO ENSURE PROPER DISCHARGE.

[illegible]

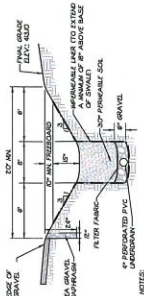
NOTES:

Typical Storm Sewer Trench Detail
NOT TO SCALE

Gravel Diaphragm Detail

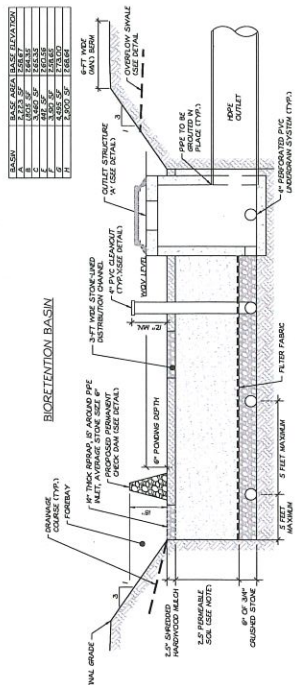


Dry & Airtight Detail



- c3. SPALLS SHALL HAVE A MAXIMUM SLOPE OF 3:1
- c3. SPECIAL CARE SHALL BE TAKEN DURING CONSTRUCTION TO AVOID PLACING THE DRY MIX CONCRETE ON THE EXISTING ASPHALT SURFACE. THE CONCRETE SHALL BE PLACED DIRECTLY TO THE SPALLS SHALL BE STABILIZED IMMEDIATELY AFTER SPALL INSTALLATION
- c3. DRY SHALLS SHALL HAVE A TOTAL LENGTH OF 485 FEET. THE DRY SHALLS SHALL HAVE A MINIMUM LENGTH OF 100 FEET.
- c3. REMEDIABLE LAYER SHALL BE FIVE FEET RECONSTRUCTED AS MANUFACTURED BY THE ENVIRONMENTAL PROTECTION AGENCY, TYPE III, 100% PORTLAND CEMENT, THE LAYER SHALL EXTEND A MINIMUM OF 10 FEET ABOVE THE BOTTOM OF THE SPALLS SHALLS

Bioretention Area Detail



NOTES:

- 1.) A MINIMUM 2.5 INCHES OF WELL-AGED SHREDDED HARDWOOD MULCH SHALL COVER THE SURFACE OF THE BASIN AND SURROUND THE PLANTINGS WITHIN PLANTINGS SHALL BE INSTALLED AS PER THE FINAL CONSTRUCTION SCHEDULE.
- 2.) FINAL CONSTRUCTION OF THE RETENTION BASIN INCLUDING INSTALLATION OF LANDSCAPE & PERMEABLE SOIL SHALL NOT OCCUR UNTIL ALL TRIBUTARY AREAS HAVE BEEN SIZED.

[illegible]

THIS MAP IS INCOMPLETE AND INVALID WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: 2 - 1 - 4
TOWN OF MONTGOMERY COUNTY OF ORANGE
STATE OF NEW YORK
DRAWN BY: T.M
DATE: MARCH 14, 2022
PROJECT: 4563-3
SHEET: 14 / 16

Stormwater Details
for
The Milk Factory

	LAWRENCE MARSHALL	PI 708707
--	-------------------	-----------

[illegible][illegible]



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

[illegible][illegible]

IF THE ASSUMPTION FIELD IS LOCATED IN GRAVE SOILS, THEN SOIL SEPARATION
 WHEN WASTEWATER TREATMENT SYSTEMS ARE LOCATED UP-DRAINAGE AND IN THE DRAIN PATH OF THE
 MOUNT TO A HILL, THE CENTER PART OF THE SYSTEM SHOULD BE AT LEAST 100 CM FROM THE HILL.
 THE PRESSURE AND FLOW RATE MAY BE IN THE SAME TRENCH OF WATER LINE IS PLACED ON AN UNDESIGNED
 OR SOIL SUCH THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 10 CM HIGHER THAN THE TOP OF THE SEWER MAIN
 TO THE SEWER MAIN IS NOT SUBJECT TO SETTLING, VIBRATION, SUPERHEATED GASES, OR FRUST ACTION.
 IF BOTTOM OF MAIN IS ABOVE FINISHED GRADE AT LANDING FACILITY, OTHERWISE NOT.

AS PER NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION "DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS", PUBLISHED MARCH 5, 2004

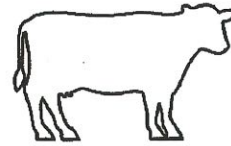
[illegible]

THIS MAP IS INCOMPLETE AND INVAILD WITHOUT ALL SHEETS IN THE PLAN SET.
TAX MAP PARCEL: E - 1 - 4
TOWN OF MONTGOMERY COUNTY OF ORANGE
STATE OF NEW YORK
DRAFTED BY: TJM
DATE: MARCH 15, 2022
PROJECT: 4563-3
SHEET: 15 / 16

Sewage Disposal Details
for
The Milk Factory

[illegible]

CWMD, LLC
25 11th Ave,
New York, NY 10011



The Milk Factory

by **CITY WINERY**

Dear Town of Montgomery IDA,

This letter should serve to provide authorization to Milk Factory, LLC to submit the application to the Town of Montgomery IDA to pursue the available incentives.

Respectfully,

A stylized, handwritten signature in black ink, appearing to be 'MD' or similar initials.

Michael Dorf
General Partner